

Drawing Set

DRAWING LIST

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D - 4	PROPOSED PLAN WITH DIMENSIONS
D - 5	PROPOSED ELEVATIONS
D - 6	PROPOSED ELEVATIONS
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GENERAL NOTES

1. CONTRACTOR SHALL SUPPLY ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO COMPLETE ALL THE WORK CALLED FOR ON THE DRAWINGS AND IN THESE GENERAL NOTES.
2. ALL WORK PERFORMED SHALL CONFORM WITH THE N.J. STATE BUILDING CODE.
3. CONTRACTOR SHALL CARRY WORKMAN'S COMPENSATION AND LIABILITY INSURANCE TO COVER ALL CONSTRUCTION OPERATIONS TO BE PERFORMED.
4. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED FOR A PERIOD OF NO LESS THAN ONE YEAR AFTER COMPLETION AND FINAL ACCEPTANCE BY THE OWNER, AND FOR ANY LENGTH OF TIME AS MANUFACTURER'S SPECIFICATIONS DESIGNATE, AND SUBMIT CERTIFICATES OF GUARANTEE.
5. THE CONTRACTOR SHALL OBTAIN ALL BUILDING DEPTARMENT PERMITS, APPROVALS, AND THE LIKE, AS REQUIRED. NO WORK IS TO COMMENCE UNTIL PLANS HAVE BEEN APPROVED BY THE DEPARTMENT OF BUILDINGS.
6. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS WORK OR HIS EMPLOYEES. AT THE END OF EACH DAYS WORK THE CONTRACTOR WILL LEAVE THE PREMISES AND SITE IN "BROOM-CLEAN" CONDITION. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROCUREMENT OF A DUMPSTER, WHICH WILL BE EMPTIED REGULARLY AND REMOVED IN A TIMELY MANNER AT THE END OF THE PROJECT. THE LOCATION OF THE DUMPSTER SHALL BE DISCUSSED/APPROVED BY THE OWNER. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL REMOVE ALL HIS TOOLS, EQUIPMENT, TEMPORARY CONSTRUCTIONS, SURPLUS MATERIALS, AND THE LIKE.
7. IF SPACE IS AVAILABLE, THE OWNER MAY ALLOW THE CONTRACTOR TO STORE SOME MATERIALS ON THE SITE IN AN AREA APPROVED BY THE OWNER PROVIDED THAT THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY AND ALL STORED MATERIALS.
8. A BINDING TIME FOR COMPLETION OF THE WORK, INCLUDING, STARTING AND COMPLETION DATES SHALL BE ESTABLISHED AND AGREED UPON BY THE OWNER AND THE CONTRACTOR PRIOR TO AWARD.
9. A BINDING PAYMENT SCHEDULE BASED ON PERCENTAGE OF WORK COMPLETED TO THE OWNER'S SPECIFICATION, LESS AN AGREED UPON RETAINAGE, SHALL BE ESTABLISHED AND AGREED UPON BY THE OWNER AND THE CONTRACTOR PRIOR TO AWARD.
10. UNLESS OTHERWISE NOTED ON DRAWINGS, NOTES OR SPECIFICATIONS, NEW WORK IN EXTENSION OF EXISTING CONDITIONS SHALL CORRESPOND IN ALL RESPECTS WITH THAT TO WHICH IT CONNECTS OR TO SIMILAR EXISTING CONDITIONS, IN MATERIALS, WORKMANSHIP, FINISH ALIGNMENT, AND THE LIKE.
11. EXISTING WORK SHALL BE CUT, DRILLED, ALTERED, REMOVED, OR TEMPORARILY REMOVED AND REPLACED AS NECESSARY FOR THE PERFORMANCE OF THE WORK. WORK THAT IS REPLACED SHALL MATCH SIMILAR EXISTING WORK. STRUCTURAL MEMBERS SHALL NOT BE CUT OR ALTERED, EXCEPT WHERE NOTED ON THE DRAWINGS, WITHOUT AUTHORIZATION OF THE ARCHITECT; WORK REMAINING IN PLACE WHICH IS DAMAGED OR DEFACED DURING THIS CONTRACT SHALL BE RESTORED TO THE CONDITION EXISTING AT THE TIME OF AWARD OF CONTRACT.

12. DISCOLORED OR UNFINISHED SURFACES EXPOSED BY REMOVAL OF EXISTING WORK AND INDICATED TO BE THE FINAL EXPOSED SURFACES SHALL BE RE-FINISHED OR THE MATERIAL SHALL BE REPLACED AS NECESSARY TO MAKE CONTIGUOUS WORK UNIFORM AND HARMONIOUS.
13. THE BIDDER SHALL VISIT THE SITE TO VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS. NO ALLOWANCE WILL BE MADE AFTER AWARD BECAUSE THE CONTRACTOR FAILED TO FAMILIARIZE HIMSELF WITH, AND EVALUATE THE EXISTING CONDITIONS IN RELATION TO THIS PROJECT. BEFORE FABRICATION OF THE WORK, THE CONTRACTOR SHALL TAKE SITE DIMENSIONS OF EXISTING CONDITIONS. PRIOR TO VISITING THE SITE, PROSPECTIVE BIDDERS SHALL CONTACT THE OWNER, TO ARRANGE FOR A SITE VISIT AND INSPECTION.
14. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE EXISTING CONDITIONS SHOWN IN/ON THESE DRAWINGS ARE GENERALLY INDICATIVE OF THOSE CONDITIONS. HOWEVER, THESE EXISTING CONDITIONS ARE NOT GUARANTEED AND MUST BE VERIFIED IN THE FIELD (V.I.F.) BY THE BIDDER PRIOR TO SUBMITTING A PRICE TO DO THE WORK. IF AWARDED A CONTRACT FOR CONSTRUCTION, THE GENERAL CONTRACTOR AND ANY AND ALL SUB-CONTRACTORS MUST VERIFY ALL EXISTING AND PROPOSED CONDITIONS PRIOR TO THE FABRICATION AND INSTALLATION OF THE WORK.
15. BIDS FOR THIS PROJECT SHALL BE ALL INCLUSIVE AND SHALL BE FOR THE WORK AS HEREIN SHOWN WITHOUT VARIATION.
16. UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL NEW WORK ABUTTING EXISTING WORK SHALL BE THOROUGHLY ANCHORED TO EXISTING, ADJACENT FRAMING AND ALL JOINTS BETWEEN NEW AND EXISTING WORK SHALL BE THOROUGHLY SEALED.
17. ANY INFORMATION APPEARING ON THE DRAWINGS BUT NOT IN THE GENERAL NOTES OR VICE VERSA SHALL BE THE SAME AS APPEARING ON/ IN BOTH PLACES.
18. THE ARCHITECT OR DESIGNER MAY OR MAY NOT BE RETAINED FOR INSPECTION OF WORK; REGARDLESS, IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDINGS DEPARTMENT AND THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON THE APPROVED PLANS AND OF ANY UNFORSEEN DEVELOPMENTS THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
19. ANY WORK HEREIN AFTER STATED OR IMPLIED WHICH IS CONTRARY TO THE ATTENTION OF THE APPLICABLE GOVERNING AGENCIES AND CODES IS TO BE BROUGHT TO THE ATTENTION OF THE OWNER, AND CORRECTED IN ORDER TO CONFORM TO THOSE GOVERING REQUIREMENTS.
20. THE DESIGNER SHALL NOT BE HELD ACCOUNTABLE FOR THE SPECIFICATION OF WINDOWS AND DOORS. THE CONTRACTOR SHOULD VERIFY ALL WINDOW AND DOOR SPECIFICATIONS WITH THE CLIENT PRIOR TO ORDERING.
21. THE DESIGNER SHALL NOT BE HELD ACCOUNTABLE FOR LANDSCAPING DETAILS.

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Client Name
Project Address

DRAWING TITLE:
D-001 NOTES

SCALE:
N/A

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS, INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PRPERTY OF SANDRA FUNK LEVY, AND WERE CREATED, DEVELOPED FOR USE ONLY ON, AND IN CONNECTION WITH THE PROJECT SPECIFIED. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER FIRM, PERSON, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SANDRA FUNK LEVY. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

DRAWING ABBREVIATIONS

AB	ANTIQUE BRASS	HT	HEIGHT	POL CH	POLISHED CHROME
ADDL	ADDITIONAL	HP	HIGHPOINT	PL	PLATE
ALUM.	ALUMINUM	INFO	INFORMATION	PL LAM	PLASTIC LAMINATE
APP.	APPROVED	INS	INSULATION	REF	REFRIGERATOR
AFF	ABOVE FINISHED FLOOR	GWB	GYPSUM WALL BOARD	REINF	REINFORCED
A/C	AIR CONDITIONED	GYP	GYPSUM WALL BOARD	REQ'D	REQUIRED
BD	BOARD	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BOTT	BOTTOM	HDR	HEADER	R	RISER
b/	BOTTOM OF	HDWR	HARDWARE	SEC	SECTION
CAB	CABINET	INT	INTERIOR	SHLV	SHELVES
CLG	CEILING	JT	JOINT	SHR	SHOWER
CONC	CONCRETE	LAC	LACQUER	SIM	SIMILAR
CPT	CARPET	LAV	LAVATORY	ST SL	STAINLESS STEEL
CT	CERAMIC TILE	LB	POUND	STL	STEEL
DIA	DIAMETER	#	POUND	T&G	TONGUE AND GROOVE
DW	DISHWASHER	LGT	LIGHTING	TC	TERRA COTTA
ELEV	ELEVATION	MED	MEDICINE CABINET	TYP	TYPICAL
EQ	EQUAL	MIN	MINIMUM	TBD	TO BE DETERMINED
EXIST	EXISTING	MLDG	MOLDING	UON	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	MTL	METAL	VERT	VERTICAL
FIN	FINISH	NIC	NOT IN CONTRACT	VCT	VINYL COMPOSITION TILE
FL	FLOOR	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
FF	FINISHED FLOOR	OPNG	OPENING	WD	WOOD
GA	GAUGE	OC	ON CENTER	W	WIDTH
GL	GLASS	PLY	PLYWOOD	WP	WATERPROOF

DRAWING SYMBOLS



EXISTING TO BE REMOVED



EXISTING WALL TO REMAIN



NEW WALL



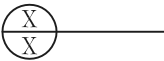
DOOR #



WINDOW #



ELEVATION KEY



DETAIL KEY



DUPLEX OUTLET



4-PLEX OUTLET



TELEPHONE



EXHAUST FAN



SINGLE POLE SWITCH



DIMMER SWITCH



RECESSED WALL WASHER



RECESSED CLG FIXTURE



PENDANT FIXTURE



WALL FIXTURE

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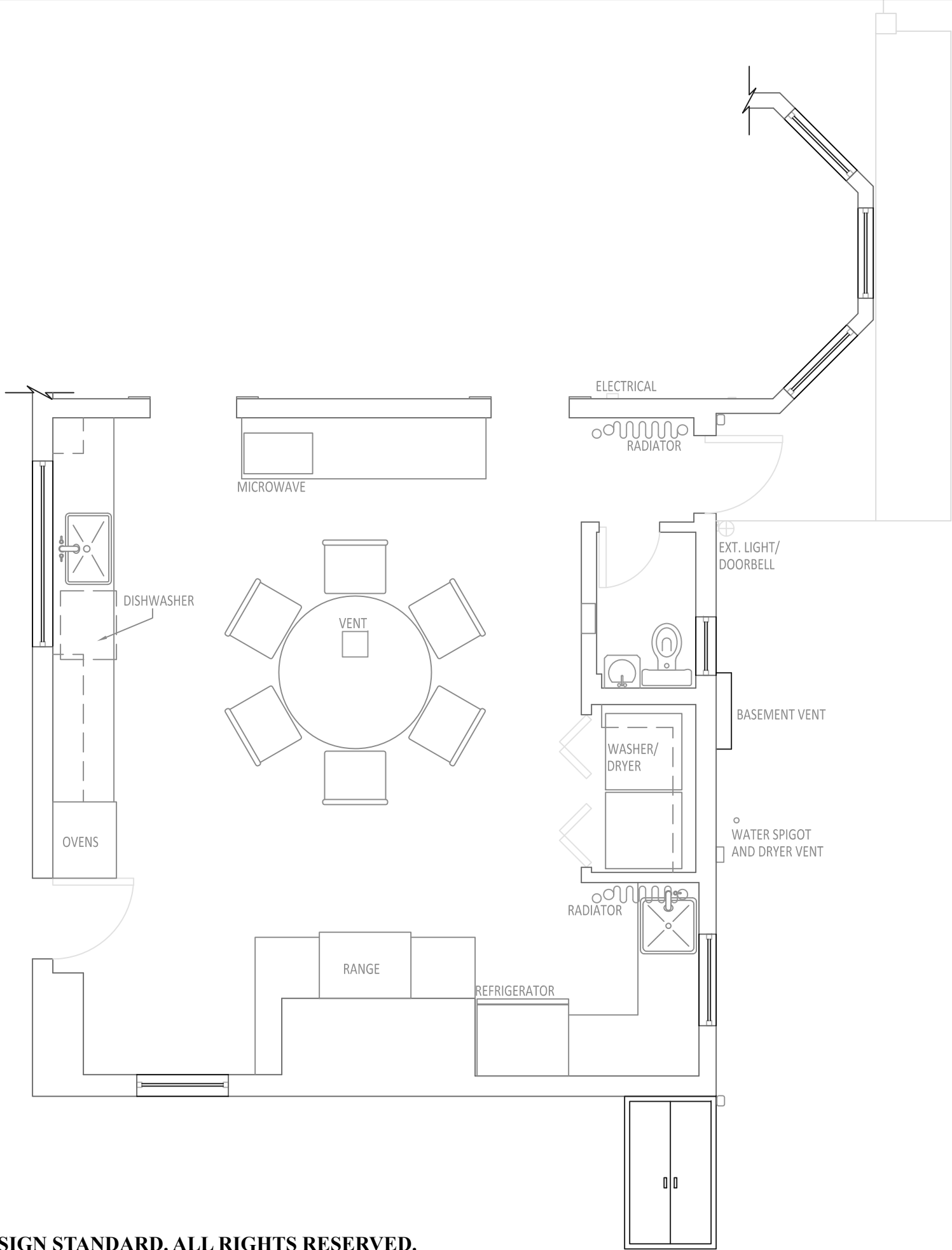
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Client Name
Project Address

DRAWING TITLE:
D-002 DRAWING
ABBREVIATIONS & SYMBOLS

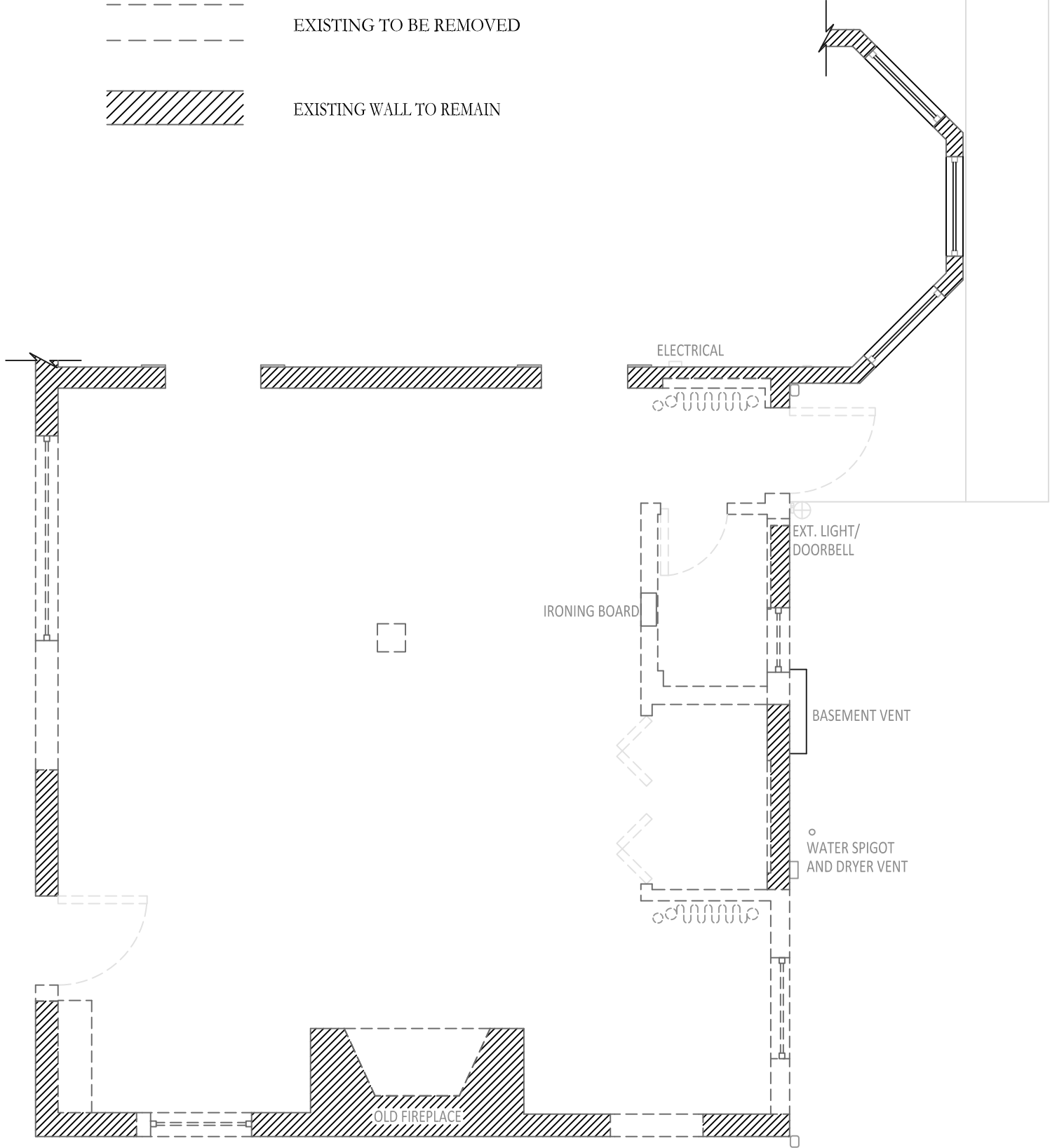
SCALE:
N/A

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS, INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF SANDRA FUNK LEVY, AND WERE CREATED, DEVELOPED FOR USE ONLY ON, AND IN CONNECTION WITH THE PROJECT SPECIFIED. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER FIRM, PERSON, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SANDRA FUNK LEVY. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

	Logo
	PRELIMINARY NOT FOR CONSTRUCTION
	Client Name Project Address
	DRAWING TITLE: D-1 EXISTING CONDITIONS
	SCALE: 1/4" = 1'-0" ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS, INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF SANDRA FUNK LEVY, AND WERE CREATED, DEVELOPED FOR USE ONLY ON, AND IN CONNECTION WITH THE PROJECT SPECIFIED. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER FIRM, PERSON, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SANDRA FUNK LEVY. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.
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DRAWING KEY

- EXISTING TO BE REMOVED
- EXISTING WALL TO REMAIN



- NOTES:
1. DEMOLITION NEEDS TO BE AS ECO FRIENDLY AS POSSIBLE
2. CLIENT WILL BE DONATING ANYTHING THAT IS SALVAGEABLE; APPLIANCES, WINDOWS, CABINETRY, PLUMBING FIXTURES, ETC. NEED TO BE SAVED
3. BOTH EXTERIOR DOORS AND SCREEN DOORS ARE BEING RE-USED, IF POSSIBLE, AND SHOULD BE CAREFULLY HANDLED AND STORED
4. IRONING BOARD AND DOOR ARE BEING RELOCATED AND RE-USED, AND SHOULD BE CAREFULLY HANDLED AND STORED
5. TILE AND DRYWALL OF WALL ENCLOSING THE EXISTING FIREPLACE IS TO BE REMOVED
6. FLOORING AND CEILING OF EXISTING ARE TO BE REMOVED

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Client Name
Project Address

DRAWING TITLE:
D-2 DEMOLITION PLAN

SCALE:
1/4" = 1'-0"

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NEW WALL



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS, INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF SANDRA FUNK LEVY, AND WERE CREATED, DEVELOPED FOR USE ONLY ON, AND IN CONNECTION WITH THE PROJECT SPECIFIED. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER FIRM, PERSON, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SANDRA FUNK LEVY. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

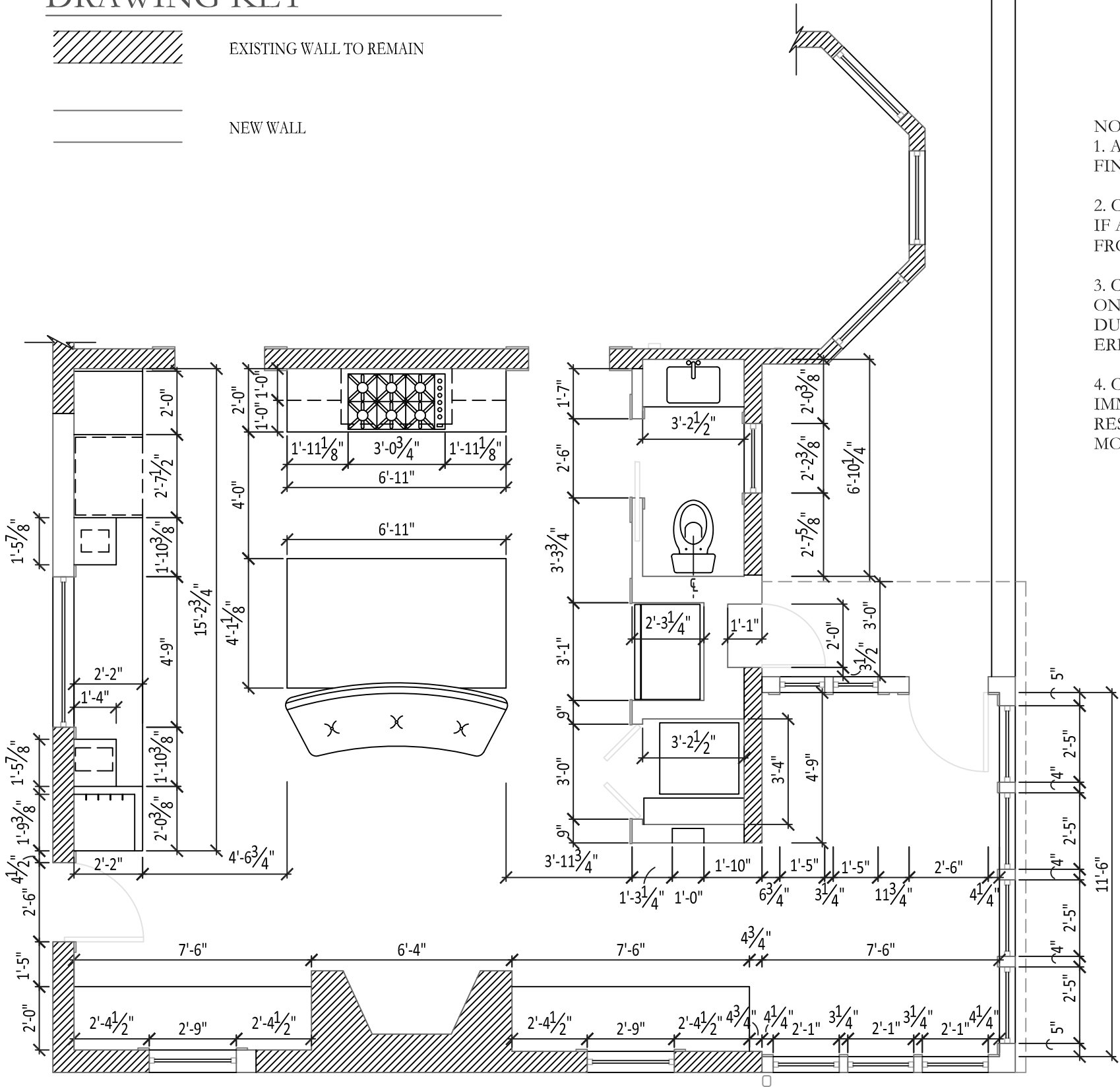
DRAWING KEY



EXISTING WALL TO REMAIN



NEW WALL



- NOTES:
1. ALL DIMENSIONS ARE TO FACE OF FINISHED AS NOTED.
 2. CONTRACTOR SHOULD NOTIFY DESIGNER IF ANY DIMENSION VARIES MORE THAN 4" FROM A DIMENSION GIVEN AS +/-.
 3. CONTRACTOR SHOULD LAYOUT PARTITIONS ON FLOOR TO BE REVIEWED WITH DESIGNER DURING ON-SITE MEETING PRIOR TO ERECTING FINAL PARTITIONS.
 4. CONTRACTOR SHOULD NOTIFY DESIGNER IMMEDIATELY IF ANY PROBLEMS ARISE, TO BE RESOLVED WITH DESIGNER PRIOR TO MOVING AHEAD.

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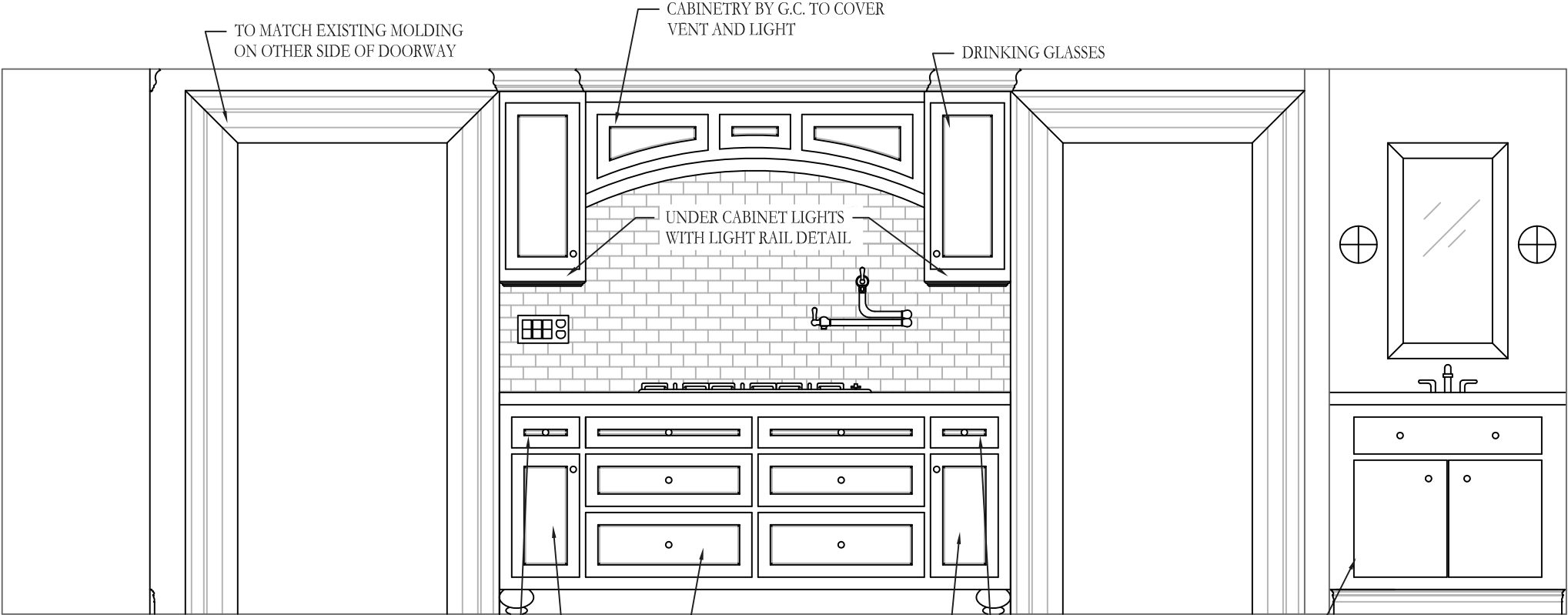
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Client Name
Project Address

DRAWING TITLE:
D-4 PROPOSED
DIMENSIONED PLAN

SCALE:
1/4" = 1'-0"

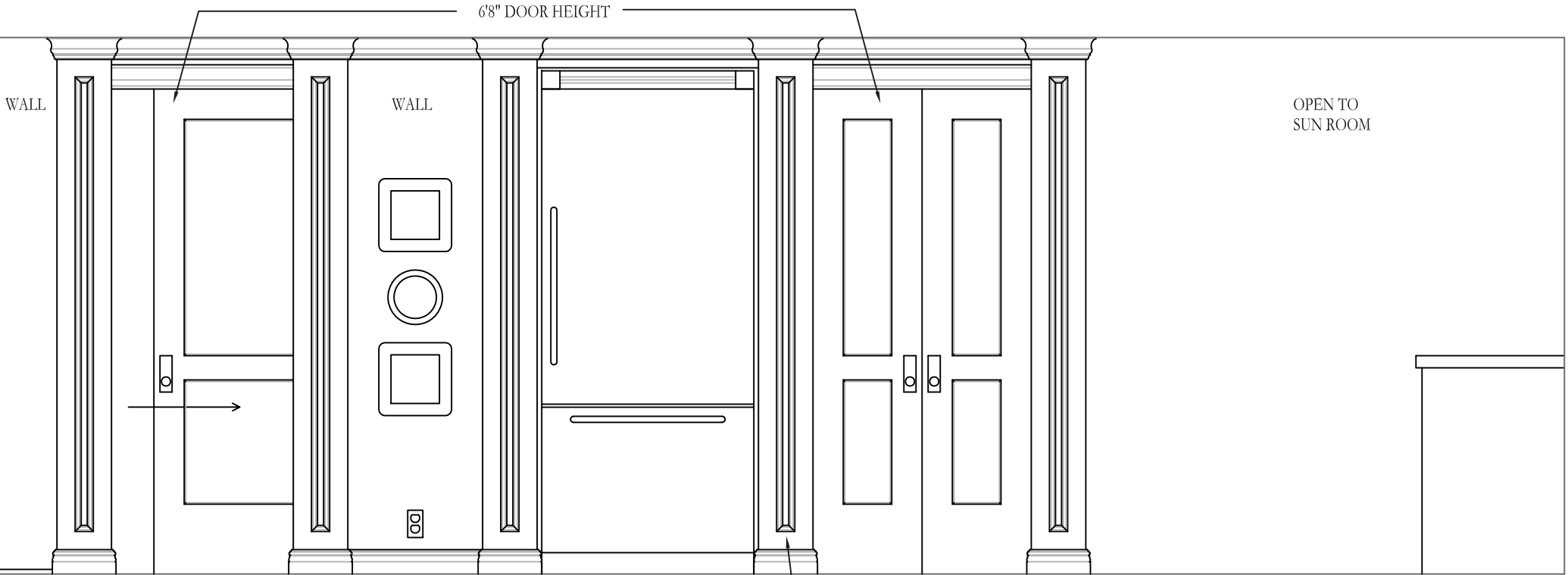
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1
D5

COOKTOP WALL

HEAVY DUTY PULL OUT DRAWERS FOR POTS
DIVIDED CABINETS FOR BAKING PANS, ETC.
COOKING UTENSILS AND FALSE PANEL IN CENTER RIGHT



2
D5

REFRIGERATOR WALL

9" WIDE COLUMNS

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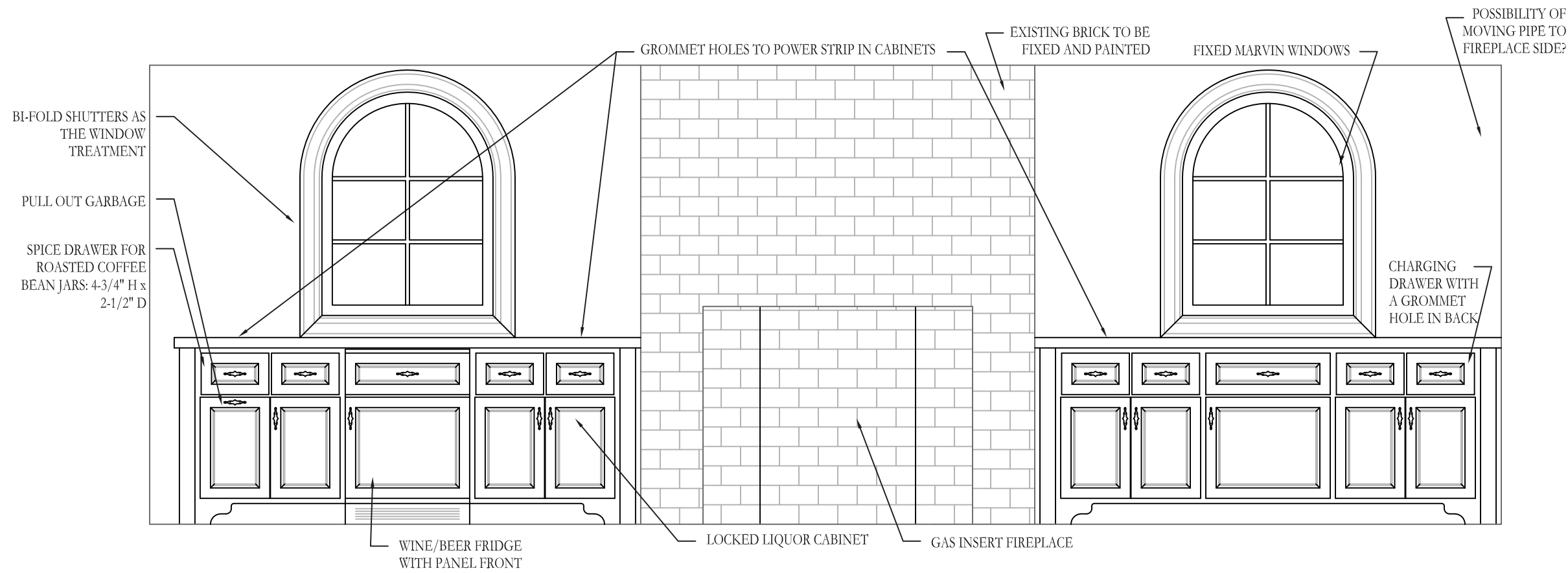
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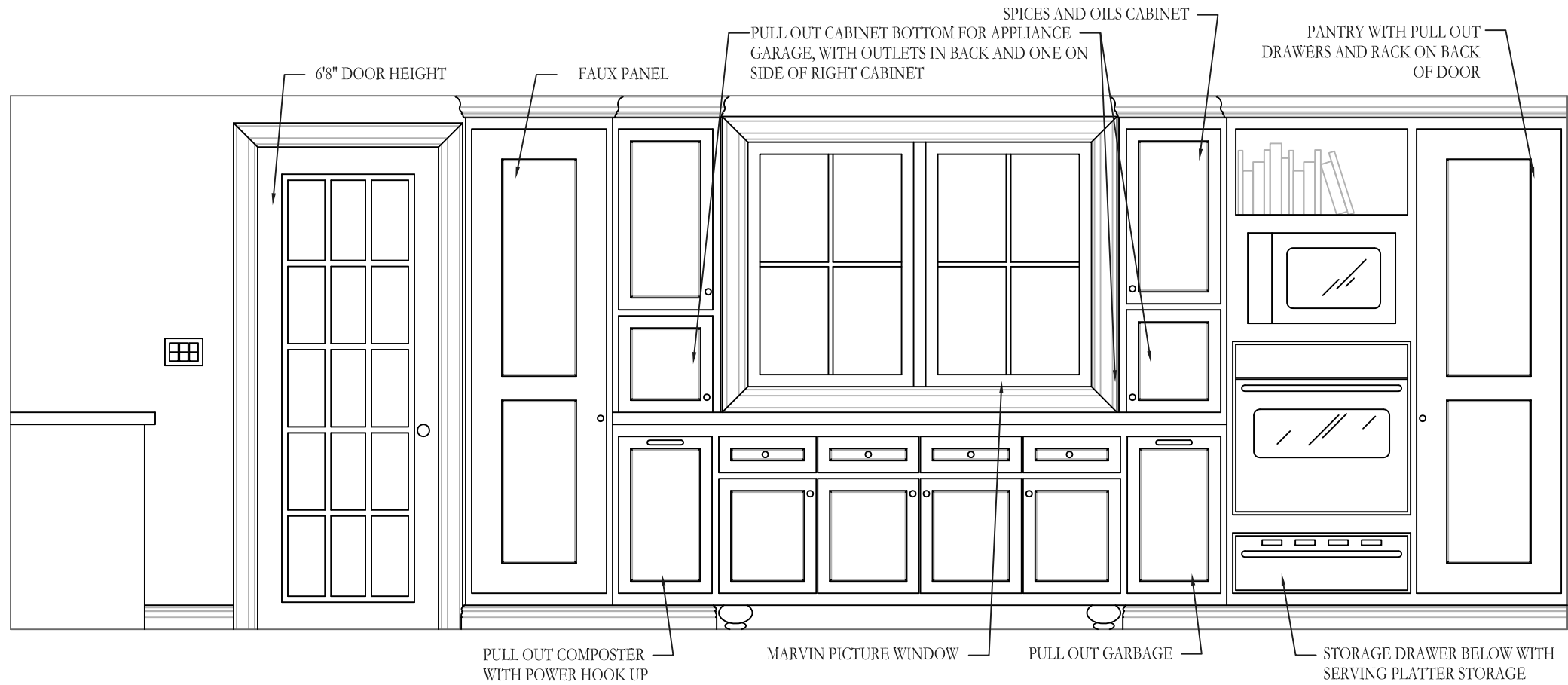
DRAWING TITLE:
D-5 PROPOSED ELEVATIONS

SCALE:
1/2" = 1'-0"

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1
D6 FIREPLACE WALL



2
D6 OVEN WALL

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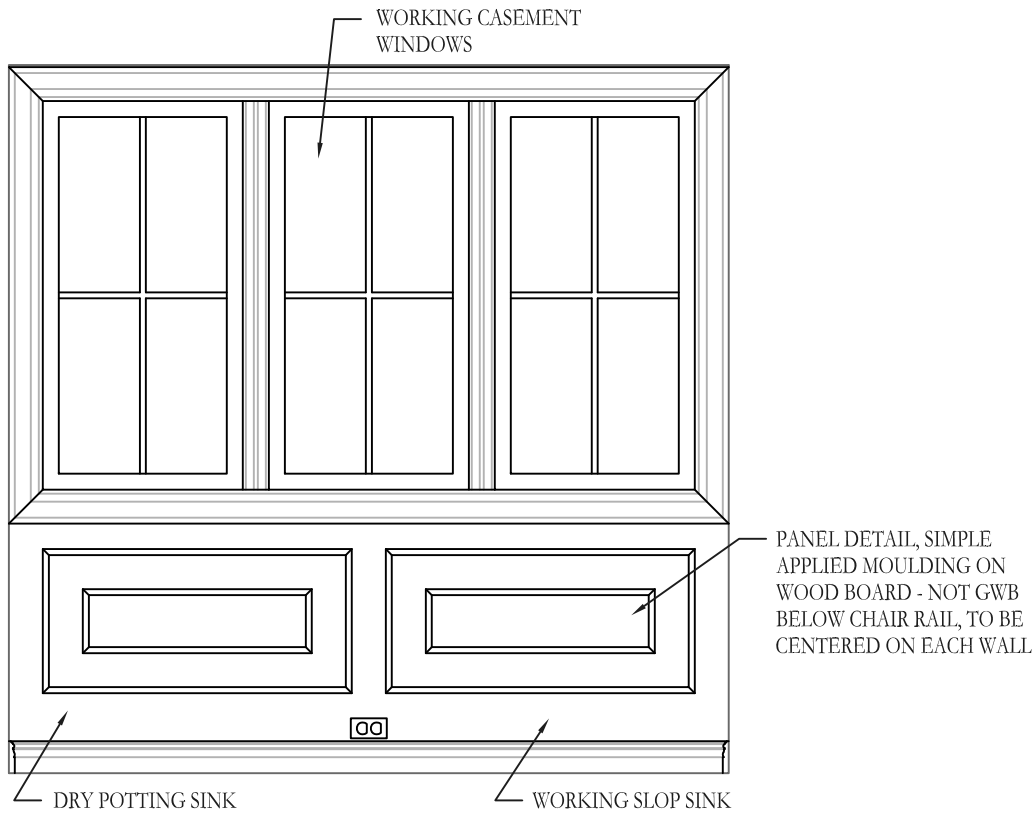
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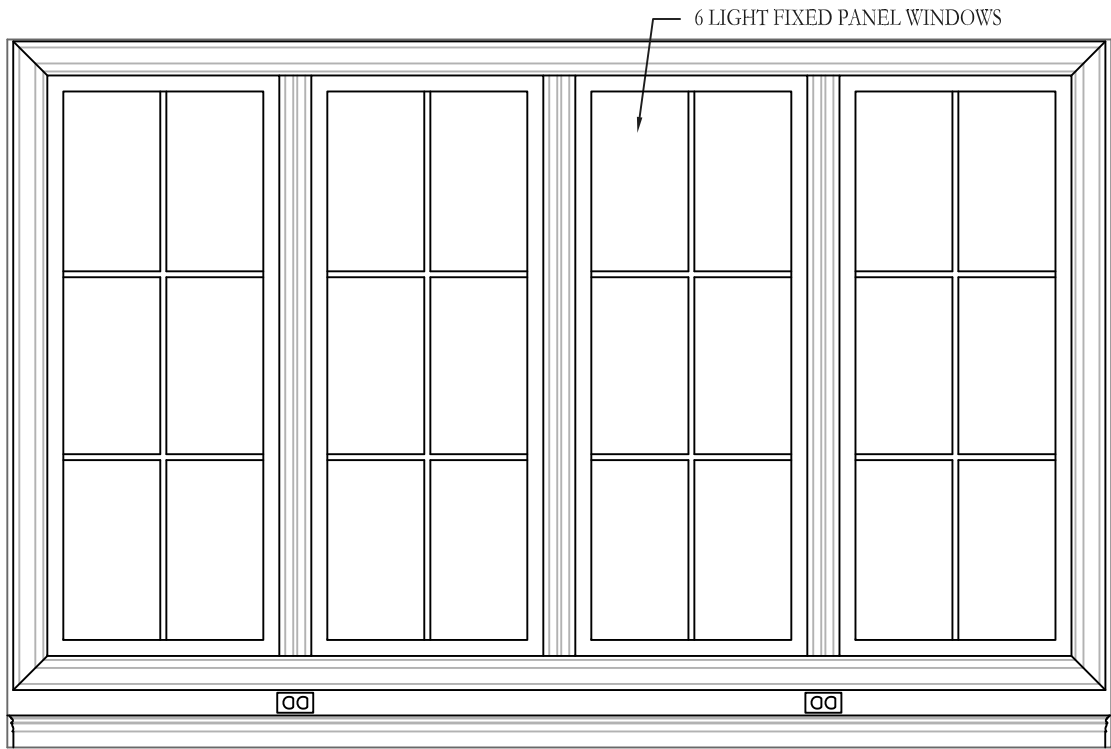
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D-6 PROPOSED ELEVATIONS

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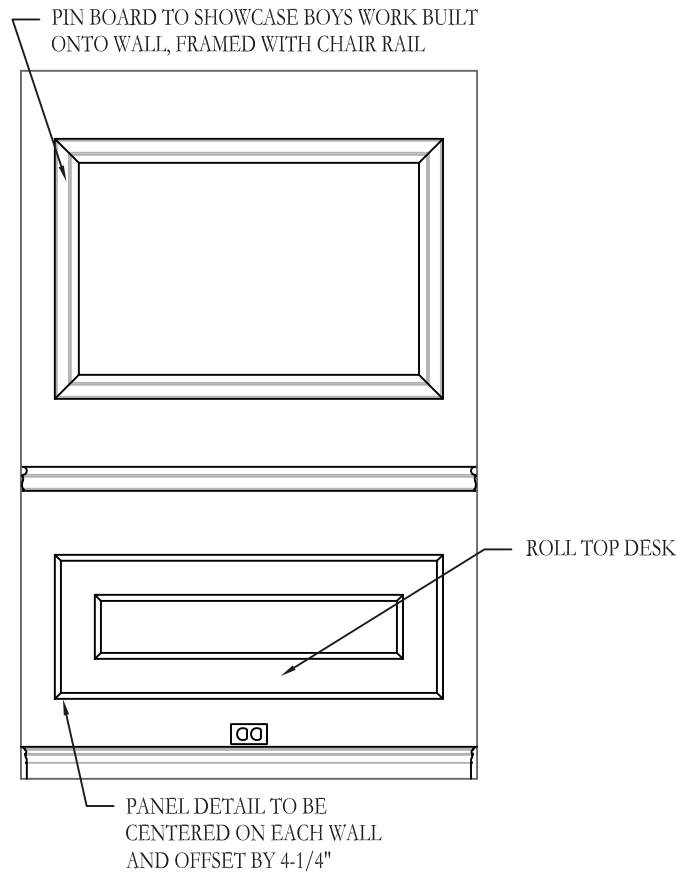
1
D7 SUN ROOM POTTING WALL



2
D7 SUN ROOM WINDOW WALL



3
D7 SUN ROOM DOOR WALL



4
D7 SUN ROOM DESK WALL

Logo

PRELIMINARY
NOT FOR CONSTRUCTION

Client Name
Project Address

DRAWING TITLE:
D-7 PROPOSED ELEVATIONS

SCALE:
1/2" = 1'-0"

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Logo

PRELIMINARY
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Client Name

Project Address

DRAWING TITLE:
D-8 PROPOSED ELEVATIONS

SCALE:
3/8" = 1'-0"

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS, INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF SANDRA FUNK LEVY, AND WERE CREATED, DEVELOPED FOR USE ONLY ON, AND IN CONNECTION WITH THE PROJECT SPECIFIED. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY OTHER FIRM, PERSON, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SANDRA FUNK LEVY. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS; CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. FULL SIZE SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.



1
D8 FULL FIREPLACE WALL

Logo

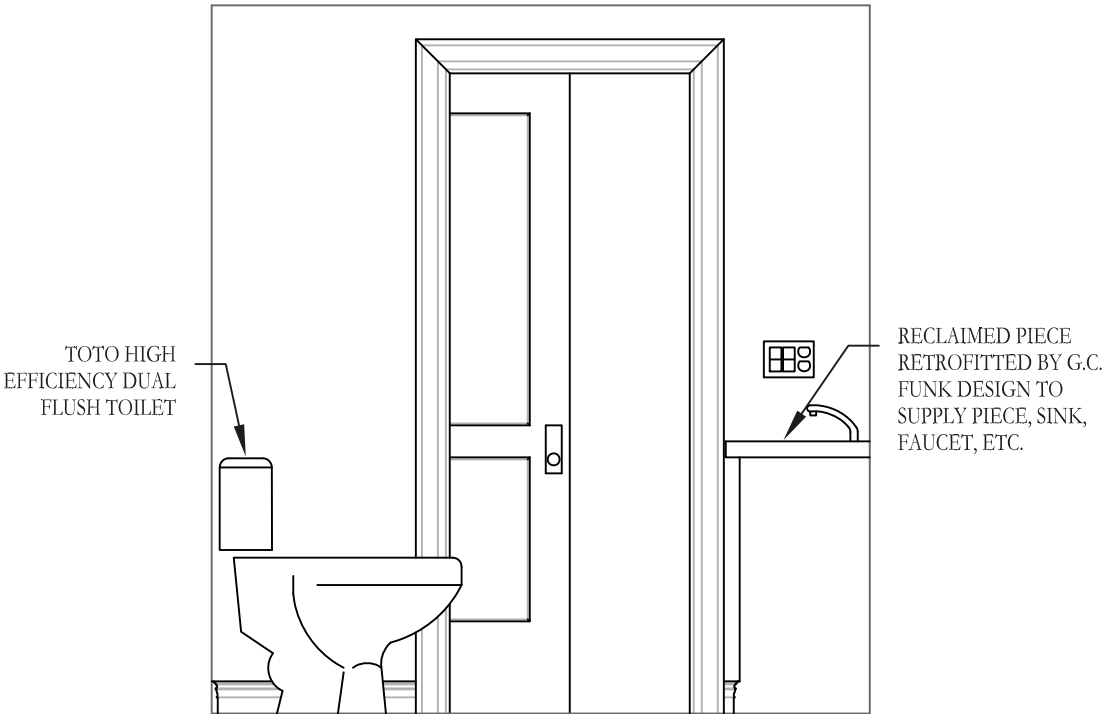
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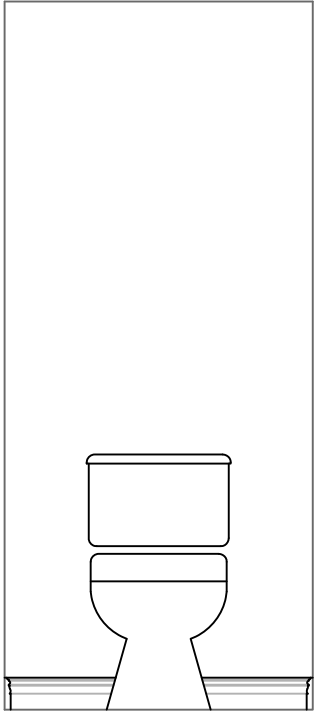
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D-9 PROPOSED ELEVATIONS

SCALE:
1/2" = 1'-0"

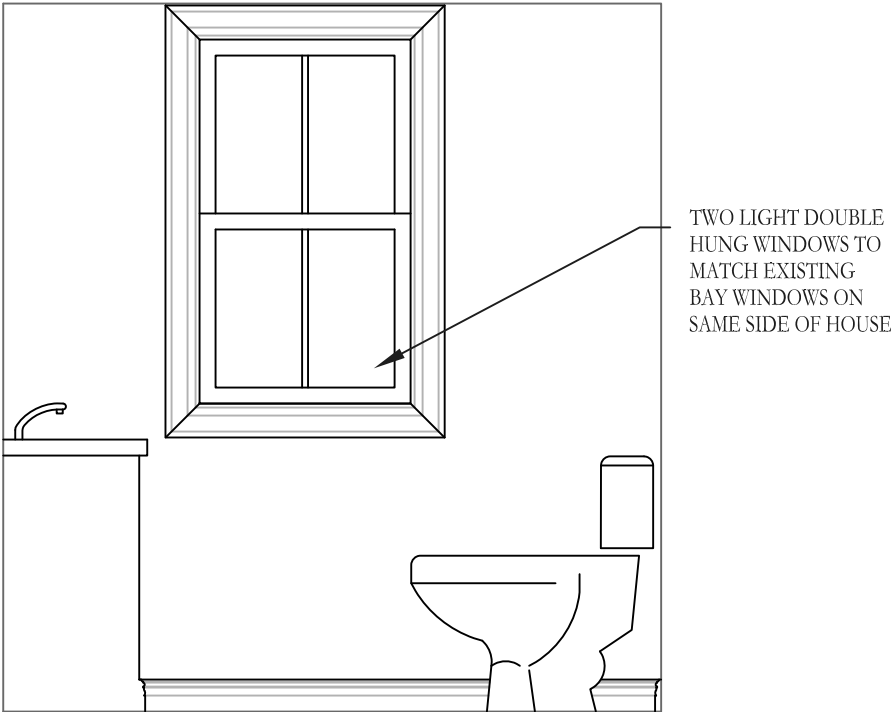
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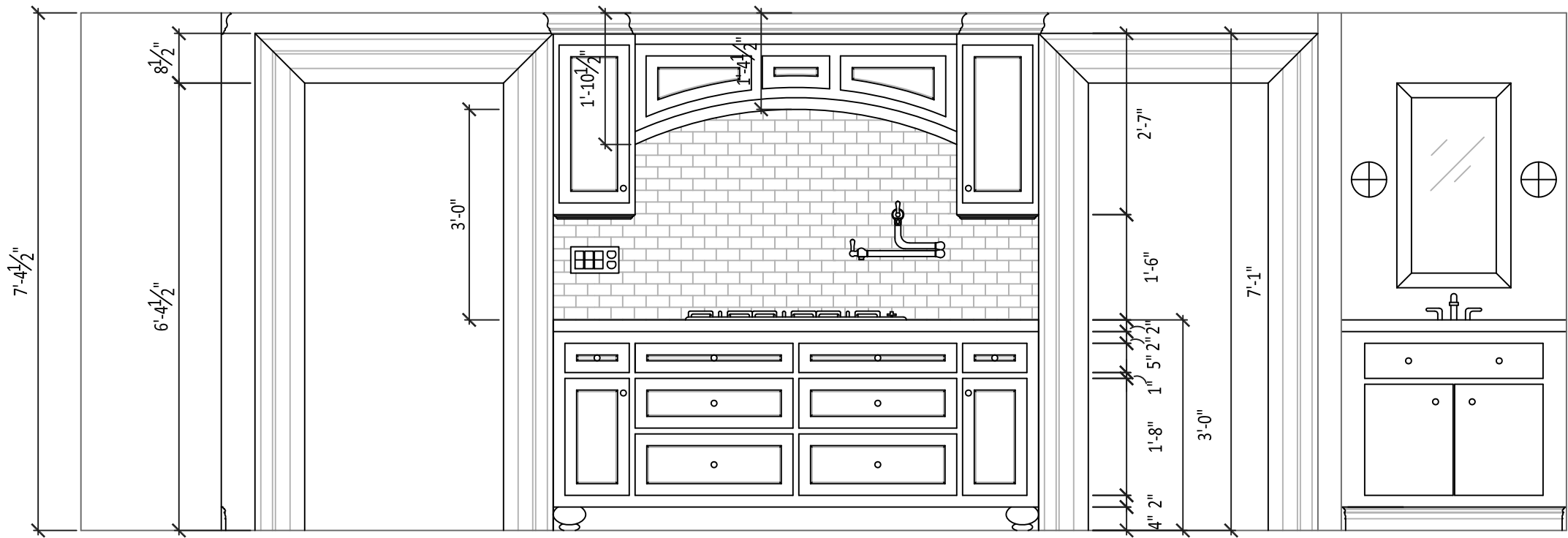
1
D9 POWDER ROOM DOOR WALL



2
D9 POWDER ROOM TOILET WALL

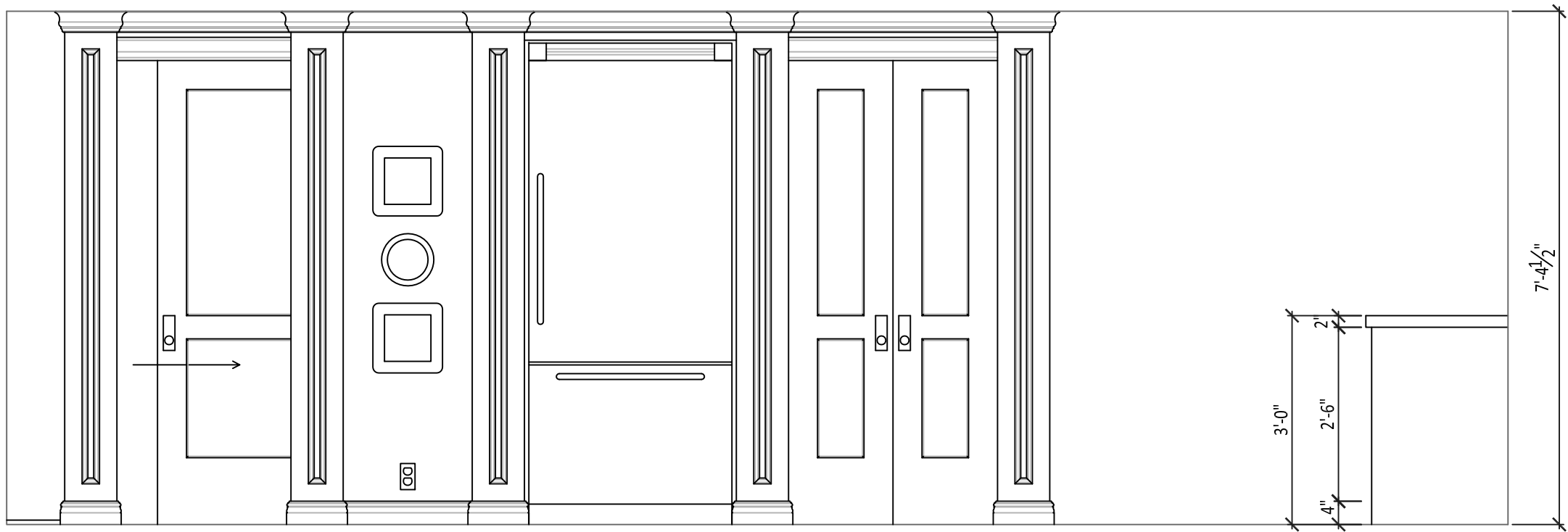


3
D9 POWDER ROOM WINDOW WALL



1
D10

COOKTOP WALL



2
D10

REFRIGERATOR WALL

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Logo

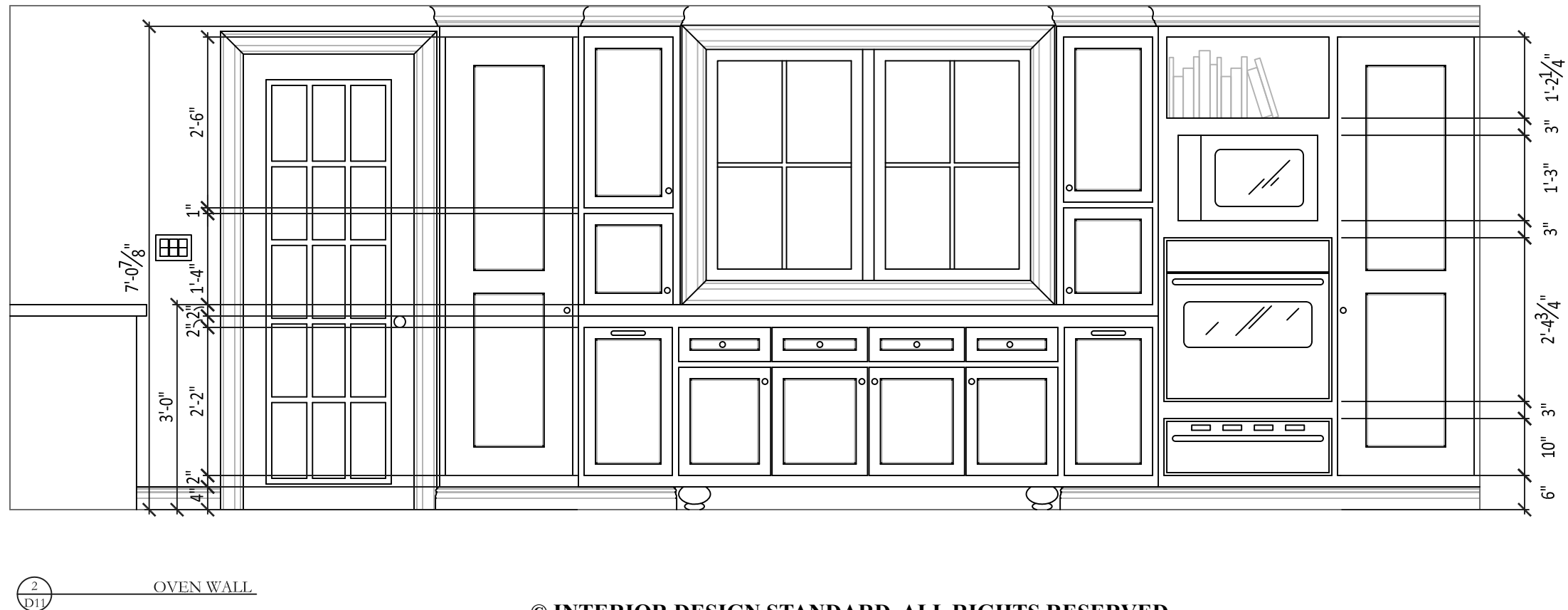
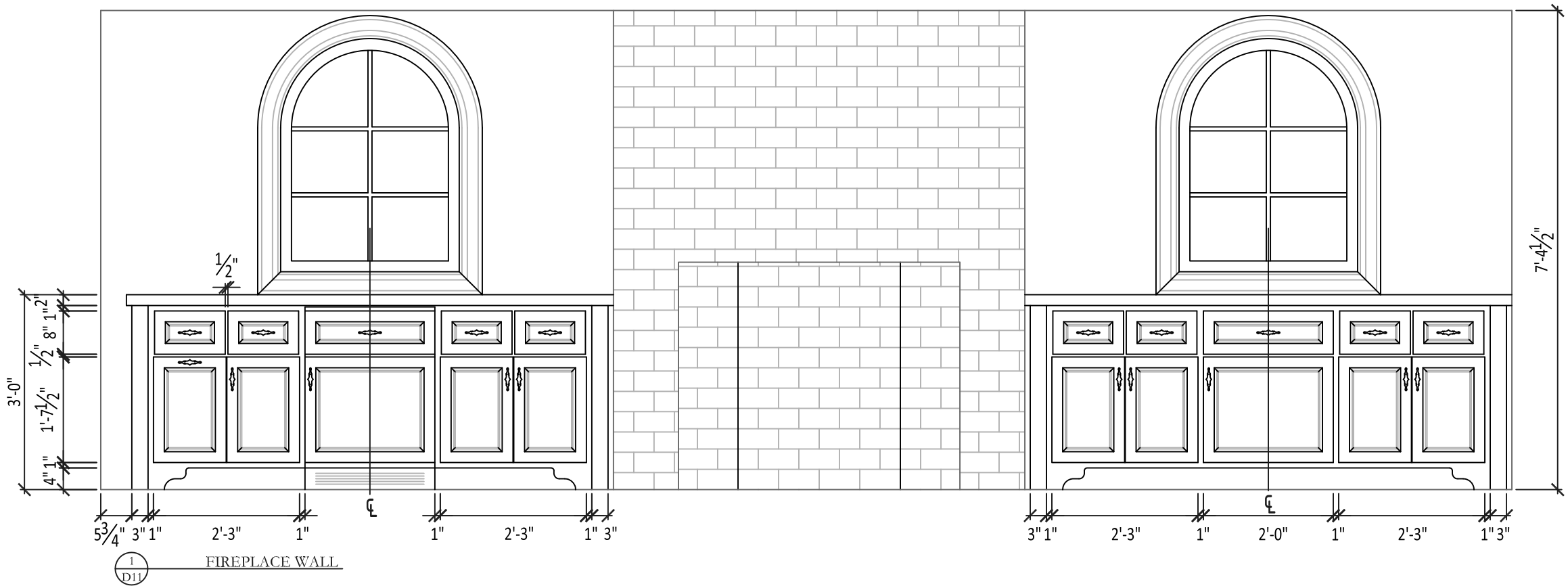
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NOT FOR CONSTRUCTION

Client Name
Project Address

DRAWING TITLE:
D-10 PROPOSED ELEVATIONS
WITH DIMENSIONS

SCALE:
1/2" = 1'-0"

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PRELIMINARY
NOT FOR CONSTRUCTION

Client Name
Project Address

DRAWING TITLE:
D-11 PROPOSED ELEVATIONS
WITH DIMENSIONS

SCALE:
1/2" = 1'-0"

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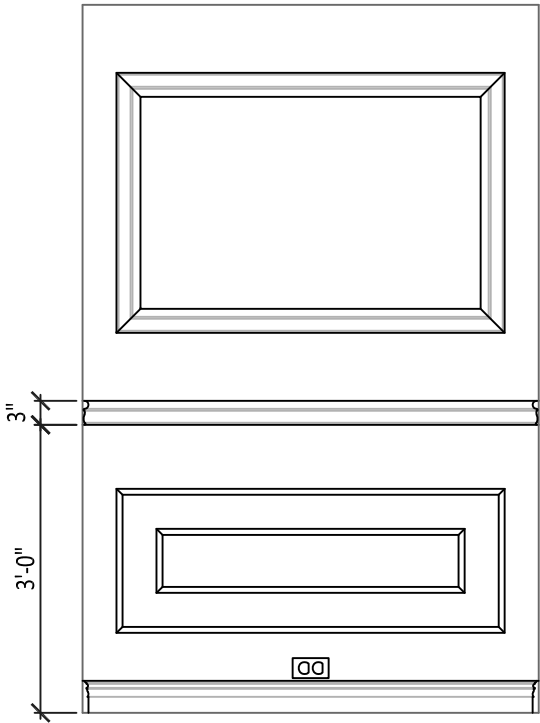
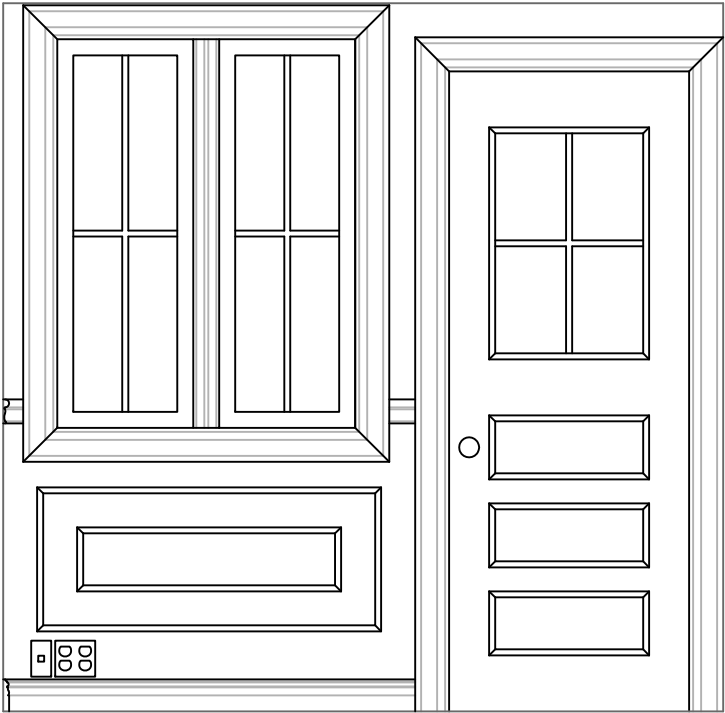
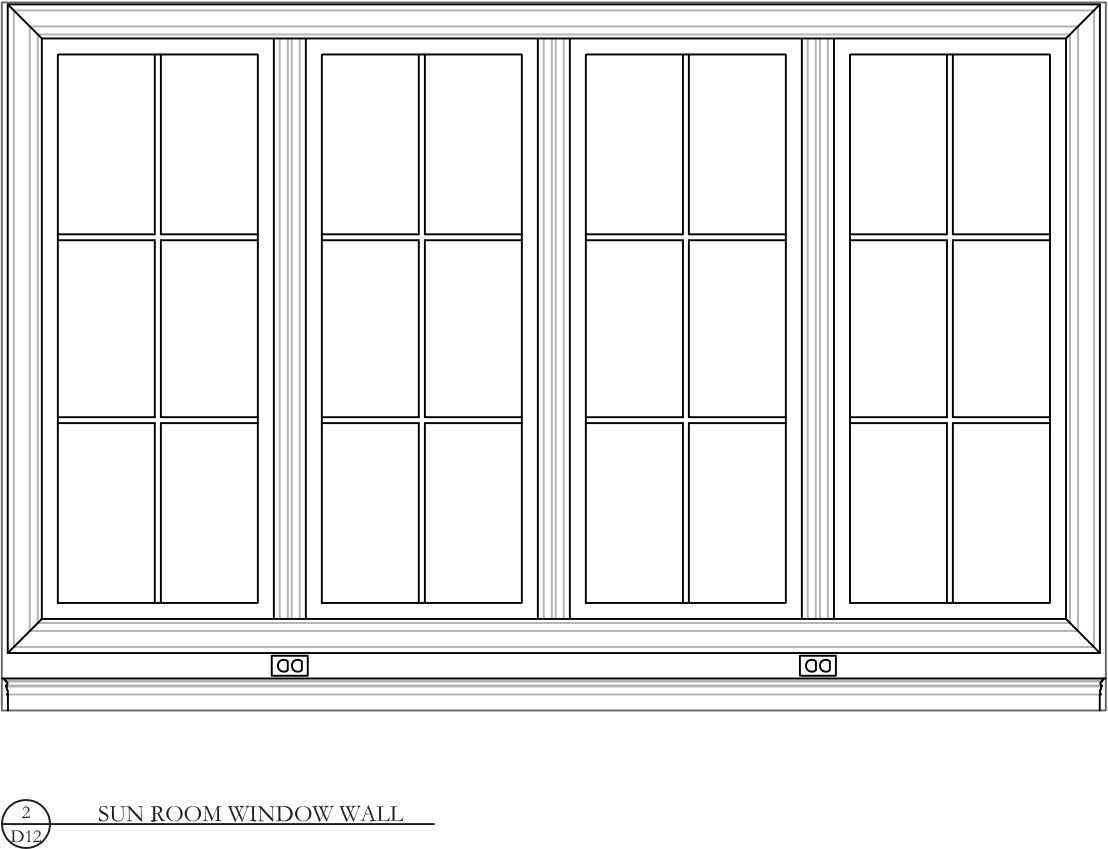
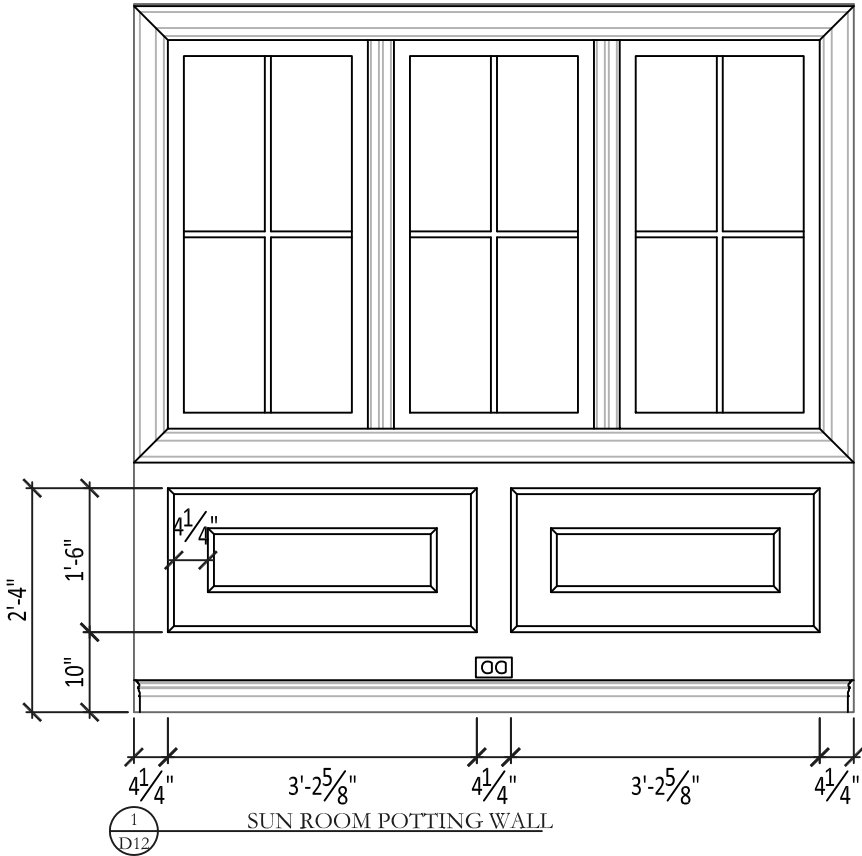
PRELIMINARY
NOT FOR CONSTRUCTION

Client Name
Project Address

DRAWING TITLE:
D-12 PROPOSED ELEVATIONS
WITH DIMENSIONS

SCALE:
1/2" = 1'-0"

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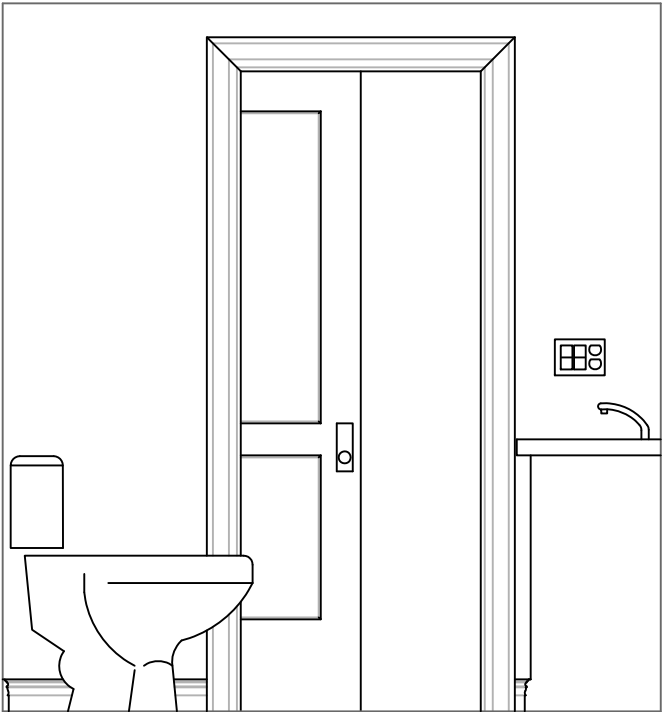
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NOT FOR CONSTRUCTION

Client Name
Project Address

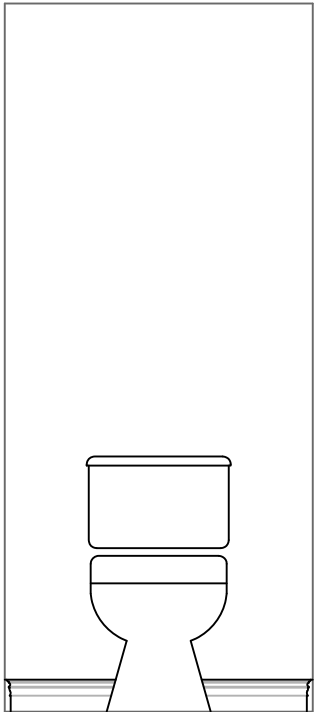
DRAWING TITLE:
D-13 PROPOSED ELEVATIONS
WITH DIMENSIONS

SCALE:
1/2" = 1'-0"

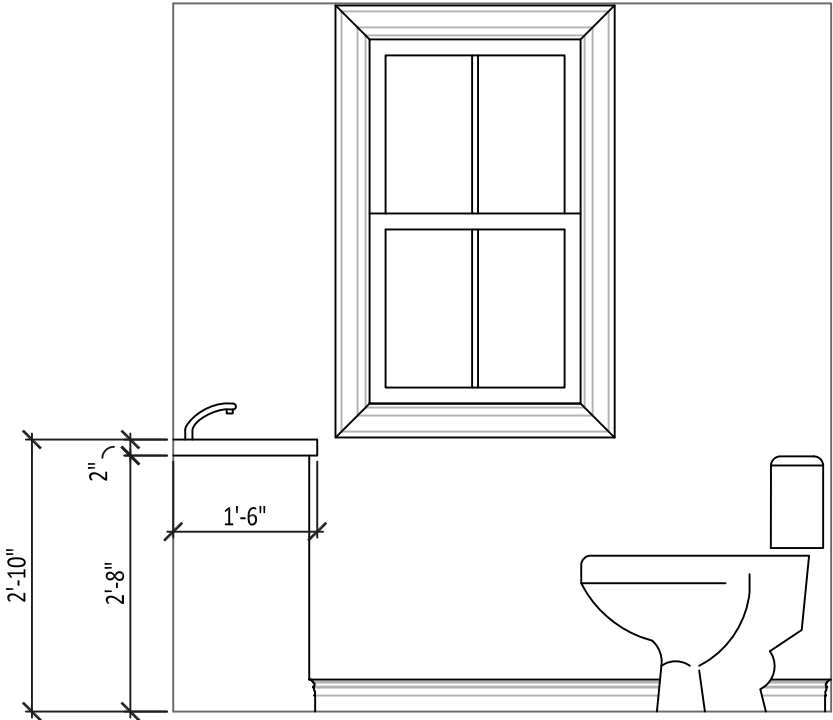
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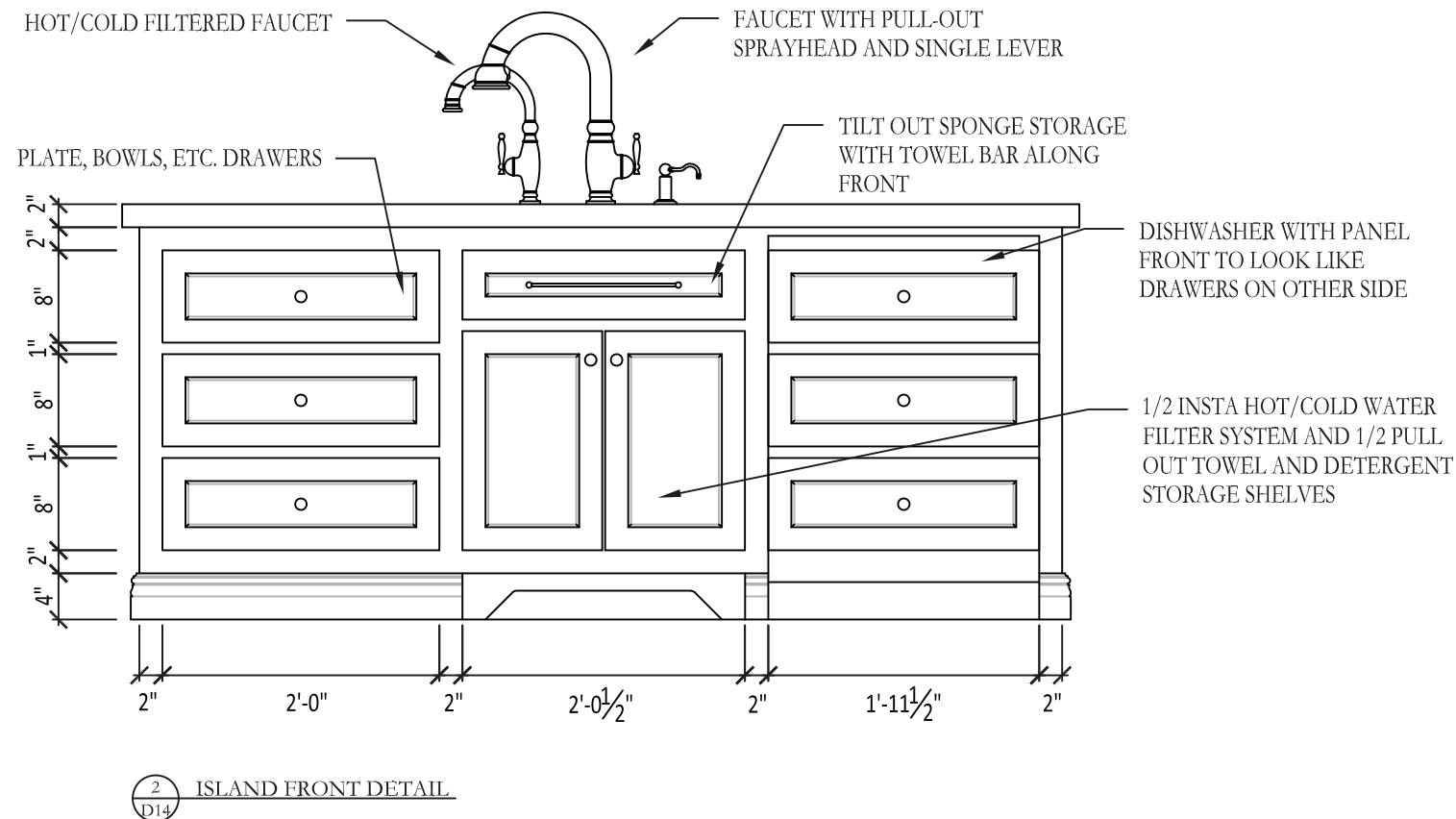
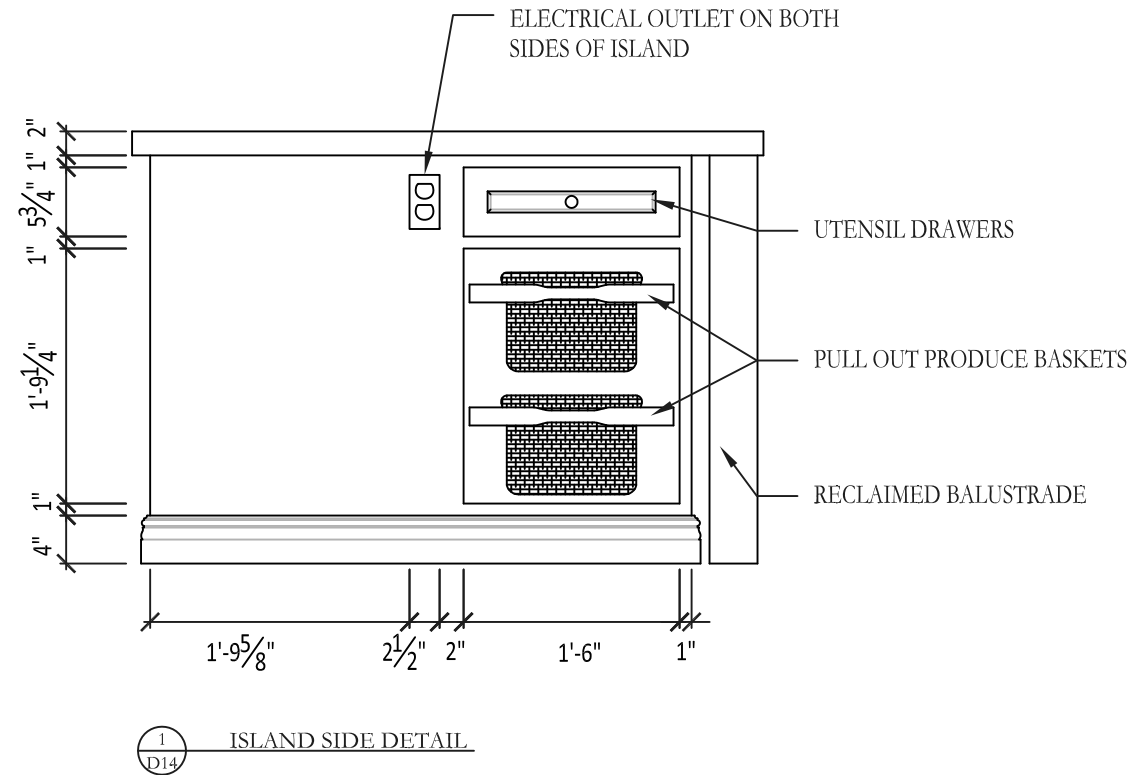
1 POWDER ROOM DOOR WALL
D13



2 POWDER ROOM TOILET WALL
D13



3 POWDER ROOM WINDOW WALL
D13



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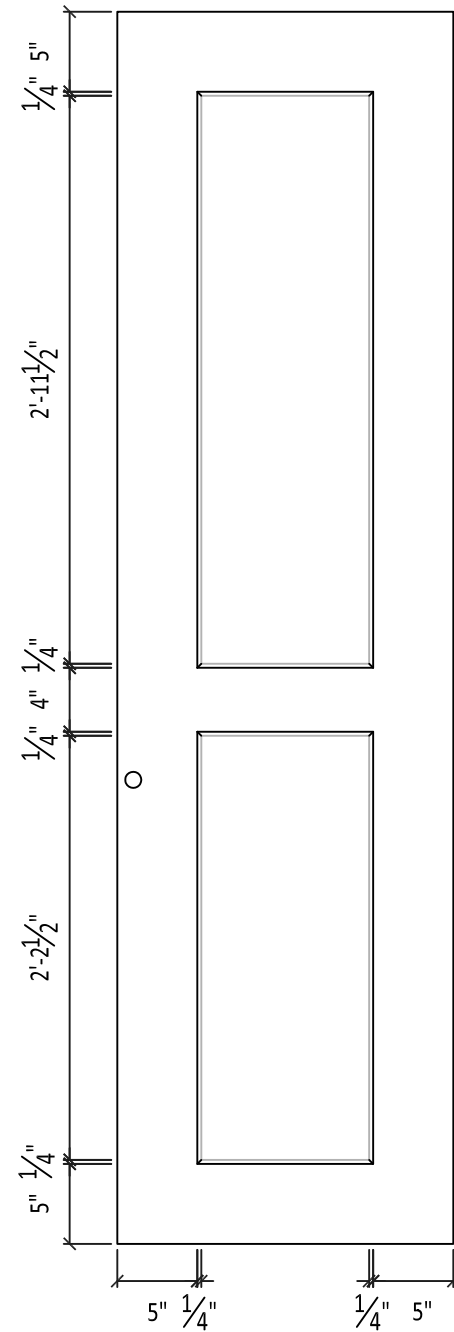
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NOT FOR CONSTRUCTION

Client Name
Project Address

DRAWING TITLE:
D-14 PROPOSED ISLAND
DETAILS

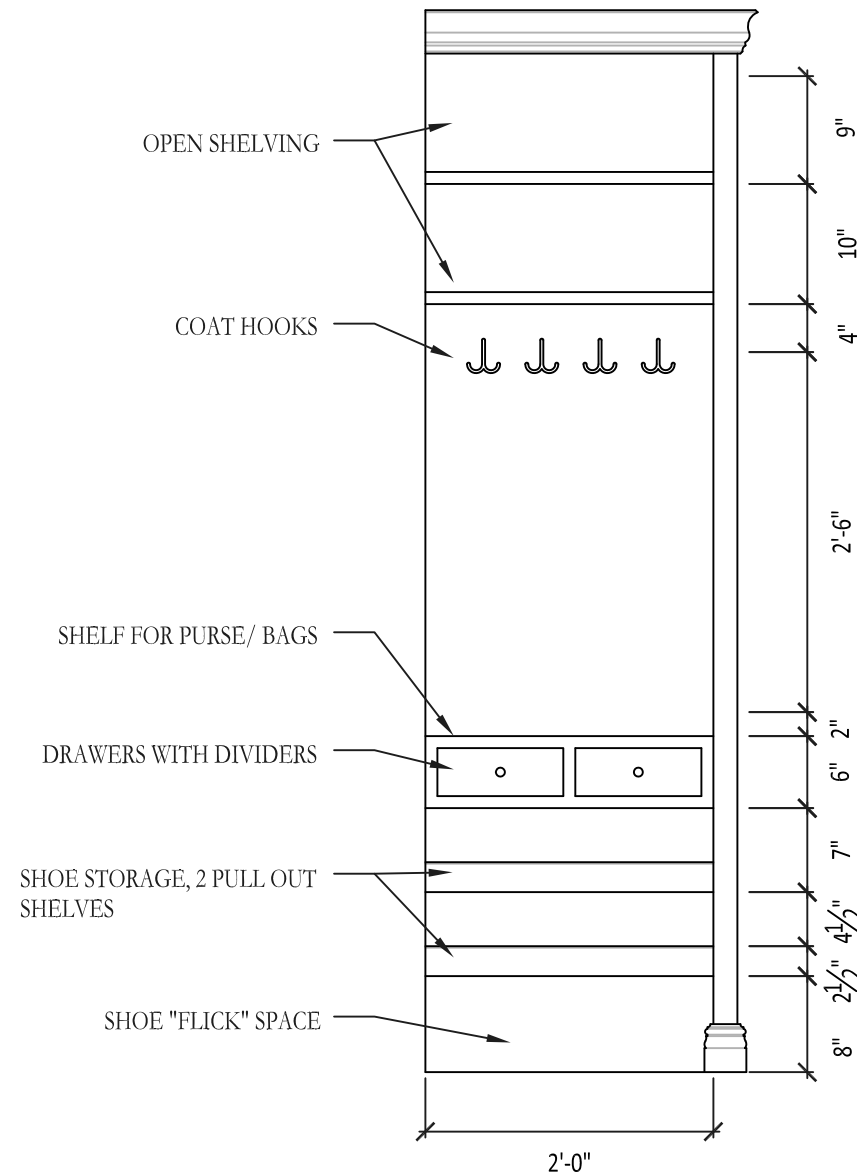
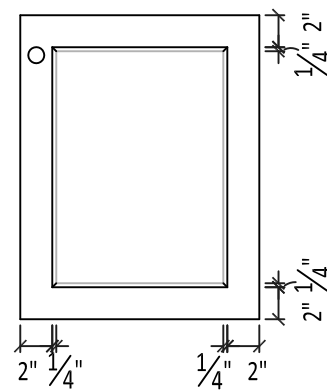
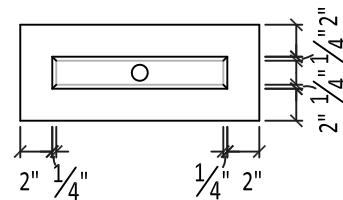
SCALE:
3/4" = 1'-0"

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1 CABINETRY DETAILS
D15 SCALE: 1" = 1'-0"

- NOTES:
1. DIMENSIONS SHOWN IN THESE DETAILS SHOULD BE STANDARDS FOR ALL CABINETRY EXCEPT THE FIREPLACE WALL
 2. ALL CABINETRY SHOULD BE MITERED CONSTRUCTION
 3. ALL CABINETRY IS INSET CONSTRUCTION EXCEPT FIREPLACE WALL, WHERE THEY ARE FULL OVERLAY



2 MUD ROOM DETAILS
D15 SCALE: 3/4" = 1'-0"

Logo

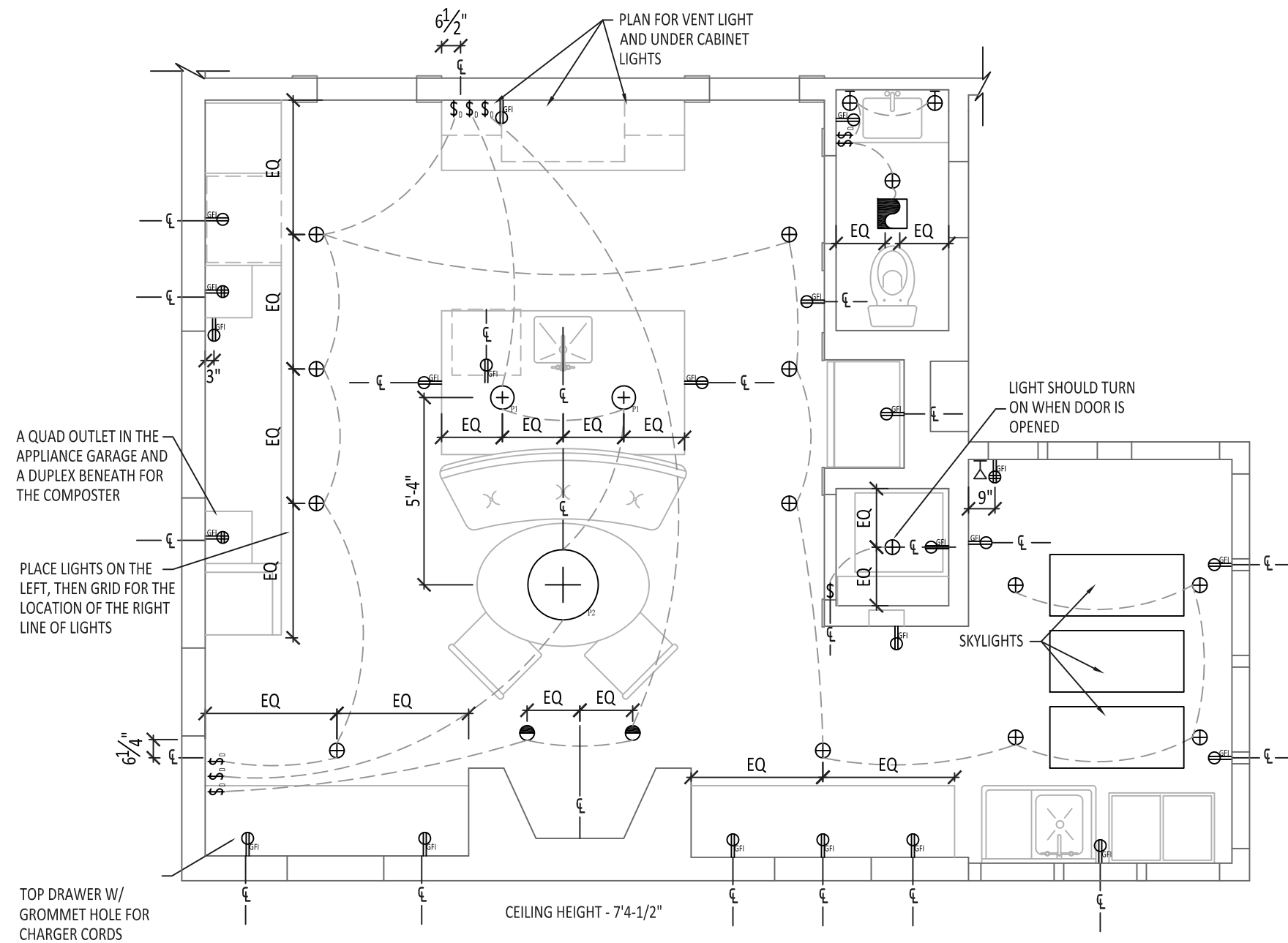
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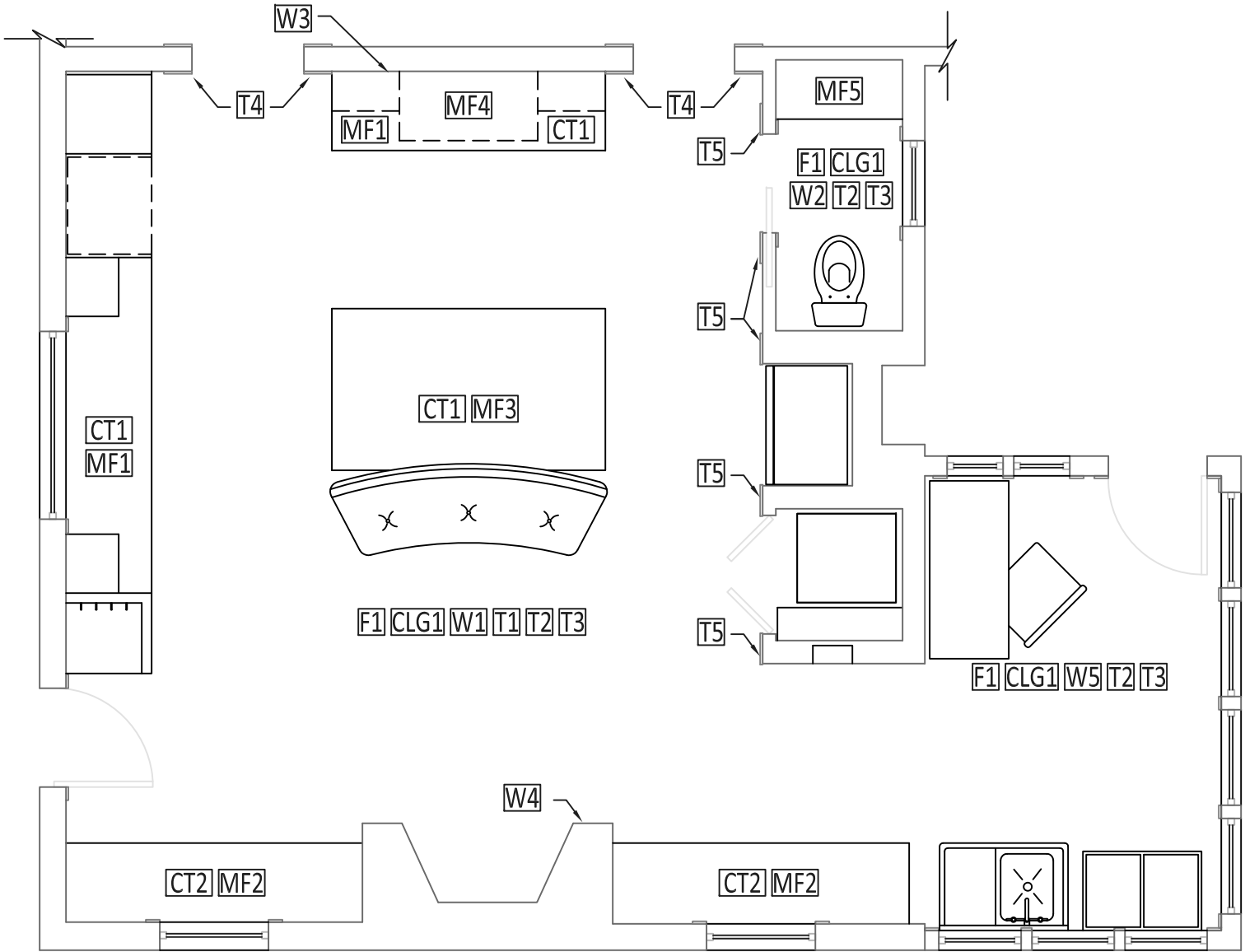
DRAWING TITLE:
D-15 PROPOSED CABINETRY
DETAILS

SCALE:
N/A

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NOTES:

1. PROVIDE ALL FINISHES AS PER THESE DRAWINGS, NOTES, SPECIFICATIONS AND FINISH SCHEDULE
- 2.ALL FLOORING IS TO CONTINUE UNDERNEATH MILLWORK, CABINETRY, VANITIES, ETC. UNLESS OTHERWISE NOTED
3. ALL NEW AND EXISTING SURFACES SHALL BE ADEQUETLY PREPARED, CLEANED, AND/OR SANDED AS REQUIRED TO RECEIVE AND RETAIN ALL FINISHES
4. PROVIDE BLOCKING AND SUPPORTS AS REQUIRED AT ALL LOCATIONS TO RECEIVE CABINETRY, SHELVING AND CLOSET SYSTEMS
5. PROVIDE SAMPLES OF ALL FINISHES AND COLOR SELECTIONS FOR REVIEW BY THE INTERIOR DESIGNER PRIOR TO THE CONTRACTOR PROCEEDING AHEAD
6. NEW EXTERIOR FINISHES ARE TO MATCH EXISTING EXTERIOR FINISHES
7. BASE MOULDING IS USED THROUGHOUT, CROWN IS USED ONLY AT CABINETRY
8. NEW FLOORING TO BE CONTINUOUS WITH UNDER FLOOR HEATING. THE CONTRACTOR WILL NEED TO FINISH NEW SPACE TO SUBFLOOR TO MATCH UP TO EXISTING SUBFLOOR HEIGHT
9. RECLAIMED/ RECYCLED MATERIALS WILL BE USED WHERE EVER POSSIBLE

FINISH SCHEDULE

FLOORING

F1 RECLAIMED FLOORING TO BE USED THROUGHOUT

CEILING

CLG1 PAINTED GWB

WALLS

W1 PAINTED GWB

W2 PAINTED GWB OR WALLPAPERED

W3 TILE BACKSPLASH

W4 PAINTED BRICK FIREPLACE SURROUND, BRICK WILL MOST LIKELY NEED TO BE RESTORED BEFORE BEING PAINTED

W5 PAINTED GWB ABOVE AND PAINTED PANEL DETAIL BELOW

TRIM

T1 PAINTED, GARDEN STATE LUMBER, #8027 CROWN

T2 PAINTED, GARDEN STATE LUMBER, #GSB412 BASE

T3 PAINTED, GARDEN STATE LUMBER, #ES4 CASING

T4 CUSTOM CASING TO MATCH EXISTING ON OTHER SIDE OF DOORWAYS

T5 HAND PAINTED COLUMN DETAIL

COUNTER TOPS

CT1 STONE COUNTER TOP

CT2 WOOD, STAINED AND ANTIQUED COUNTER TOP

MILLWORK FINISH

MF1 HAND PAINTED CABINETRY WITH FURNITURE BASE, OIL LOW LUSTRE FINISH PAINT TO BE USED, INSET CABINETRY

MF2 FURNITURE GRADE WOOD, STAINED AND ANTIQUED FOR A FOUND FURNITURE LOOK, FULL OVERLAY CABINETRY

MF3 RECLAIMED WOOD BASE, STAINED AND ANTIQUED

MF4 HAND PAINTED WOOD SURROUNDING RANGE VENT FAN

MF5 RECLAIMED FURNITURE PIECE RETROFITTED FOR VANITY OR VANITY MADE OF RECLAIMED MATERIALS

Logo

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Client Name
Project Address

DRAWING TITLE:

D-17 PROPOSED FINISH
PLAN & SCHEDULE

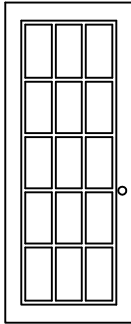
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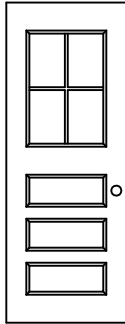
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DOOR SCHEDULE

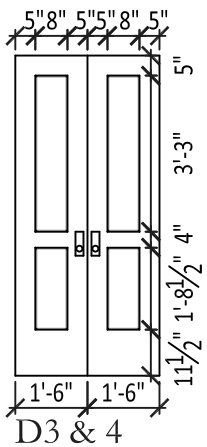
DOOR								FRAME	REMARKS
NO.	LOCATION	MATERIAL	SIZE	THICK	HARDWARE	HAND	SADDLE	MATERIAL	
D1	DECK DOOR*	WOOD/ GLASS	2'-6"	1-3/4"		RH		WOOD	RE-USE EXISTING DECK DOOR
D2	GARDEN DOOR*	WOOD/ GLASS	2'-6"	1-3/4"		LH		WOOD	RE-USE EXISTING SIDE DOOR
D3	LAUNDRY ROOM DOOR**	SOLID WOOD	1'-6"	1-3/4"		LH	N/A	WOOD	FIND MATCHING RECLAIMED DOORS THAT CAN BE USED/ CONFIGURED FOR THESE USES
D4	LAUNDRY ROOM DOOR**	SOLID WOOD	1'-6"	1-3/4"		RH	N/A	WOOD	
D5	BATHROOM DOOR**	SOLID WOOD	2'-6"	1-3/4"		POCKET	N/A	WOOD	
D6	GARDEN SHED DOOR	SOLID WOOD	2'-0"	1-3/4"		RH		WOOD	



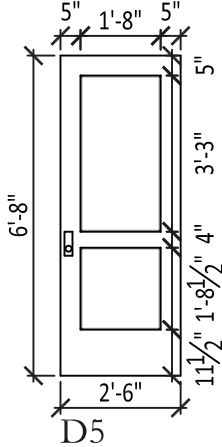
D1



D2



D3 & 4



D5

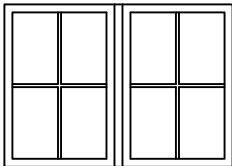
* IF EXISTING EXTERIOR DOORS DON'T WORK, THEN MARVIN "ULTIMATE" SWINGING FRENCH DOORS - 2668 - WUFD WILL BE USED

** IF MATCHING RECLAIMED INTERIOR DOORS CAN NOT BE FOUND, CUSTOM DOORS BASED OFF THE PANTRY CABINET DOOR, TO THE SPECS TO THE LEFT, WILL BE USED

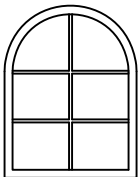
NOTES:
1. DOOR LOCKS COULD BE MORTISE AND TENON

WINDOW SCHEDULE

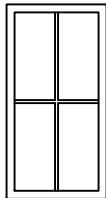
NO.	LOCATION	NEW WINDOW TYPE	MANUFACTURER/ MODEL NO.	TYPE	ROUGH OPENING SIZE
W1	KITCHEN -EXIST DECK WALL	FRENCH CASEMENTS	MARVIN/ WOOD FRENCH CASEMASTER -WFCM5640	WIN1	4' 9" W x 3' 4-9/16" H
W2	KITCHEN -FIREPLACE WALL	STATIONARY ARCH TOP CASEMENT	MARVIN/ CUSTOM WOOD -WCM3224 RT2 (STATIONARY)*	WIN2	2' 9" W x 2' 0-9/16" H
W3	KITCHEN -FIREPLACE WALL	STATIONARY ARCH TOP CASEMENT	MARVIN/ CUSTOM WOOD -WCM3224 RT2 (STATIONARY)*	WIN2	2' 9" W x 2' 0-9/16" H
W4	SUN ROOM -BACKYARD WALL	WORKING CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2448	WIN3	2' 1" W x 4' 0-9/16" H
W5	SUN ROOM -BACKYARD WALL	WORKING CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2448	WIN3	2' 1" W x 4' 0-9/16" H
W6	SUN ROOM -BACKYARD WALL	WORKING CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2448	WIN3	2' 1" W x 4' 0-9/16" H
W7	SUN ROOM -GARDEN WALL	STATIONARY CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2872 (STATIONARY)	WIN4	2' 5" W x 6' 0-9/16" H
W8	SUN ROOM -GARDEN WALL	STATIONARY CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2872 (STATIONARY)	WIN4	2' 5" W x 6' 0-9/16" H
W9	SUN ROOM -GARDEN WALL	STATIONARY CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2872 (STATIONARY)	WIN4	2' 5" W x 6' 0-9/16" H
W10	SUN ROOM -GARDEN WALL	STATIONARY CASEMENT	MARVIN/ WOOD CASEMASTER -WCM2872 (STATIONARY)	WIN4	2' 5" W x 6' 0-9/16" H
W11	SUN ROOM -SKYLIGHT	MANUAL VENTING SKYLIGHT	VELUX/ "NO LEAK SKYLIGHT" - VS-C06 (106)	WIN5	1' 9" W x 3' 9-3/4" H
W12	SUN ROOM -SKYLIGHT	MANUAL VENTING SKYLIGHT	VELUX/ "NO LEAK SKYLIGHT" - VS-C06 (106)	WIN5	1' 9" W x 3' 9-3/4" H
W13	SUN ROOM -SKYLIGHT	MANUAL VENTING SKYLIGHT	VELUX/ "NO LEAK SKYLIGHT" - VS-C06 (106)	WIN5	1' 9" W x 3' 9-3/4" H
W14	SUN ROOM -DOOR WALL	WORKING CASEMENT	MARVIN/ WOOD CASEMASTER -WCM1648	WIN6	1' 5" W x 4' 0-9/16" H
W15	SUN ROOM -DOOR WALL	WORKING CASEMENT	MARVIN/ WOOD CASEMASTER -WCM1648	WIN6	1' 5" W x 4' 0-9/16" H
W16	POWDER ROOM	DOUBLE HUNG	MARVIN/ WOOD "ULTIMATE" - WUDH2018	WIN7	2' 2-3/8" W x 3' 9-1/2" H



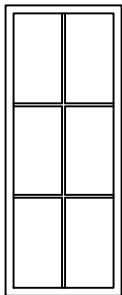
WIN1



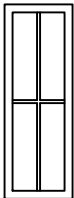
WIN2



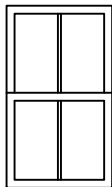
WIN3



WIN4



WIN6



WIN7

* THESE ARE CUSTOM WINDOWS (THAT DON'T HAVE A SPECIFICATION NUMBER) THAT SHOULD BE ORDERED TO THE SPECIFICATIONS GIVEN

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DRAWING TITLE:
D-18 PROPOSED SCHEDULES

SCALE:
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